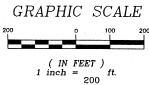
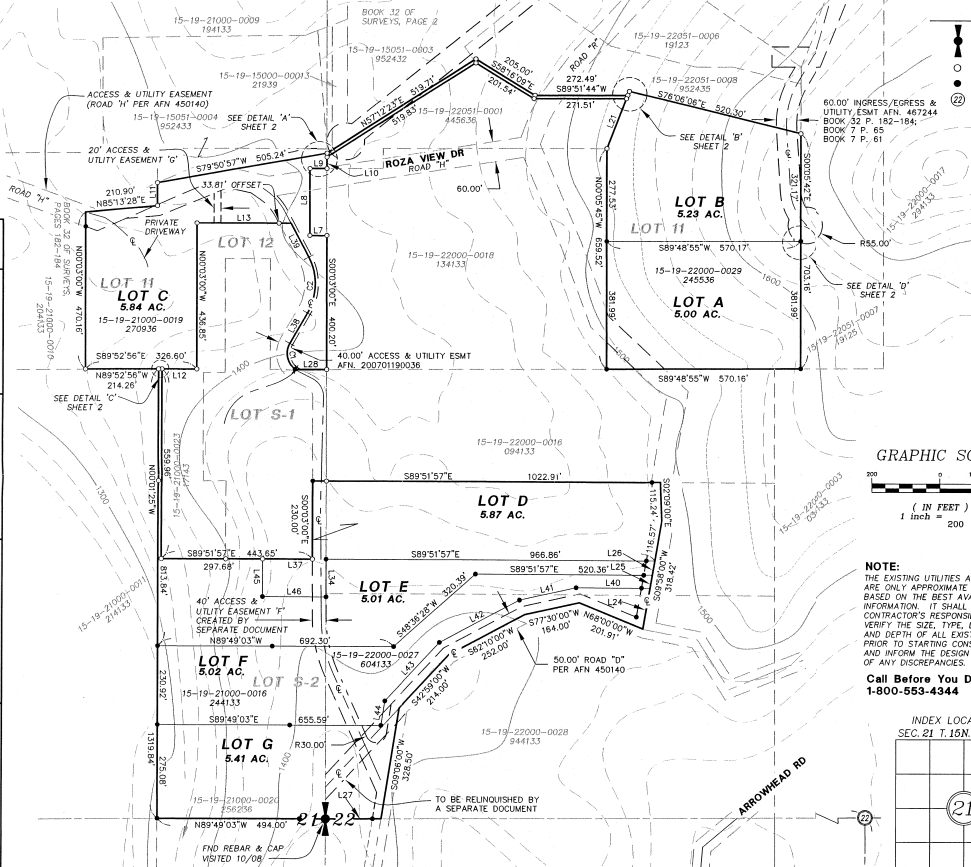


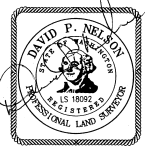
VICINITY MAP
N.T.S.

TAKE FIVE PLAT
 PORTION OF THE E 1/2 OF THE E 1/2 OF SECTION 21 AND A PORTION OF THE W 1/2 OF THE W 1/2 OF SECTION 22,
 TOWNSHIP 15 NORTH, RANGE 19 EAST, W.M. KITTITAS COUNTY, WASHINGTON LP-08-XX

LEGEND
 ○ QTR SECTION CORNER
 ● FOUND REBAR WITH CAP
 ○ SET 1/2" REBAR L5# 18092
 ⊕ CENTER SECTION 22

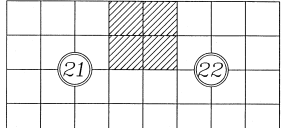


RECEIVED
 10/17/2008
 Kittitas County
 CTS



NOTE:
 THE EXISTING UTILITIES AS SHOWN ARE ONLY APPROXIMATE AND ARE BASED ON THE BEST AVAILABLE INFORMATION. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE SIZE, TYPE, LOCATION, AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO STARTING CONSTRUCTION, AND INFORM THE DESIGN ENGINEER OF ANY DISCREPANCIES.
 Call Before You Dig
 1-800-553-4344

INDEX LOCATION:
 SEC. 21 T. 15N. R. 19E. W.M. SEC. 22 T. 15N. R. 19E. W.M.



APPROVALS

KITTITAS COUNTY PUBLIC WORKS
 EXAMINED AND APPROVED THIS ____ day of _____ A.D., 20____

 Kittitas County Engineer

COUNTY PLANNING DIRECTOR
 I hereby certify that the TAKE FIVE Plat has been examined by me and find that it conforms to the comprehensive plan of the Kittitas County Planning Commission.
 Dated this ____ day of _____ A.D., 20____

 Kittitas County Planning Director

KITTITAS COUNTY HEALTH DEPARTMENT
 Preliminary inspection indicated soil conditions may allow use of septic tanks as a temporary means of sewage disposal for some, but not necessarily all building sites within this short plat. Prospective purchasers of lots are urged to make inquiries at the County Health Department about issuance of septic tank permits for lots.
 Dated this ____ day of _____ A.D., 20____

 Kittitas County Health Officer

CERTIFICATE OF COUNTY TREASURER
 I hereby certify that the taxes and assessments are paid for the preceding years and for this year in which the plat is now to be filed.
 Dated this ____ day of _____ A.D., 20____

 Kittitas County Treasurer

ORIGINAL TAX LOT NO.
 15-19-22000-0029 (245536)
 15-19-21000-0019 (270936)
 15-19-22000-0027 (604133)
 15-19-21000-0016 (XX)

RECORDER'S CERTIFICATE
 Filed for record this ____ day of _____ 20____ at _____ M in book ____ of _____ at page ____ at the request of _____
 DAVID P. NELSON
 Surveyor's Name

 County Auditor Deputy County Auditor

SURVEYOR'S CERTIFICATE
 This map correctly represents a survey made by me or under my direction in conformance with the requirements of the Survey Recording Act at the request of _____
 in _____ JULY _____ 2008.

 DAVID P. NELSON DATE
 Certificate No. 18092

Encompass
 ENGINEERING & SURVEYING
 108 EAST 2ND STREET
 CLE ELUM, WA 98922
 PHONE: (509) 674-7433
 FAX: (509) 674-7419

TAKE FIVE PLAT			
PORTION OF THE E 1/2 OF THE E 1/2 OF SECTION 21 AND A PORTION OF THE W 1/2 OF THE W 1/2 OF SECTION 22, TOWNSHIP 15 NORTH, RANGE 19 EAST, W.M. KITTITAS COUNTY, WASHINGTON			
DWN BY	SFT	DATE	JOB NO.
CHKD BY	SCALE		
D. NELSON	1"=200'	11/2008	08124
			SHEET
			1 OF 2

OWNER:

OTTO SIEBER
470 ROZA VIEW DR.
YAKIMA, WA 98901
TAX PARCELS: 15-19-22000-0029 (245536)
10.11 AC. (10.23 AC.)
15-19-21000-0019 (270936)
5.84 AC.
15-19-22000-0027 (604133)
11.80 AC. (12.35 AC.)
15-19-21000-0016 (244133)
8.96 AC.

WATER SOURCE: INDIVIDUAL WELLS
SEWER SOURCE: SEPTIC & DRAINFIELD

ZONE: AG-5

LEGAL DESCRIPTION

SIEBER LOT 11

LOT 11 AS DELINEATED IN BOOK 33 OF SURVEYS, PAGE 186, UNDER AUDITOR'S FILE NUMBER 20070190036, RECORDS OF KITTITAS COUNTY, STATE OF WASHINGTON.

EXCEPT THAT PORTION OF SAID LOT 11, WHICH IS BOUNDED BY A LINE DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWEST CORNER OF PARCEL D OF THE SIEBER SHORT PLAT, AS PER SHORT PLAT RECORDED IN BOOK 1 OF SHORT PLATS, PAGES 130 AND 131, UNDER AUDITOR'S FILE NUMBER 20070302022, RECORDS OF KITTITAS COUNTY, STATE OF WASHINGTON; THENCE SOUTH 89°54'52" EAST, ALONG THE SOUTH BOUNDARY OF SAID PARCEL D, 160.12 FEET TO A POINT ON THE COMMON BOUNDARY LINE BETWEEN LOT 11 AND SAID PARCEL D, SAID POINT BEING THE TRUE POINT OF BEGINNING OF SAID LINE; THENCE CONTINUING SOUTH 89°54'52" EAST ALONG SAID DIVIDING LINE TO THE SOUTHEAST CORNER OF SAID PARCEL D, 497.32 FEET; SAID SOUTHEAST CORNER BEING LOCATED ON THE EAST BOUNDARY OF SECTION 21, TOWNSHIP 15 NORTH, RANGE 19 EAST, W.M.; THENCE SOUTH 00°03'00" EAST, ALONG SAID EAST BOUNDARY 13.71 FEET; THENCE SOUTH 79°50'57" WEST 506.24 FEET TO A POINT ON THE WESTERN BOUNDARY OF SAID LOT 11; THENCE NORTH 00°00'00" EAST 103.49 FEET ALONG SAID WESTERN BOUNDARY TO THE TRUE POINT OF BEGINNING AND THE TERMINUS OF SAID LINE.

SITUATED IN THE NORTHWEST QUARTER OF SECTION 21, TOWNSHIP 15 NORTH, RANGE 19 EAST, W.M., KITTITAS COUNTY, WASHINGTON.

TAKE FIVE PLAT
PORTION OF THE E 1/2 OF THE E 1/2 OF SECTION 21 AND A PORTION OF THE W 1/2 OF THE W 1/2 OF SECTION 22, TOWNSHIP 15 NORTH, RANGE 19 EAST, W.M.
KITTITAS COUNTY, WASHINGTON

LEGAL DESCRIPTION

SIEBER S-2

LOT S-2 OF THAT CERTAIN SURVEY RECORDED IN BOOK 33 OF SURVEYS, PAGE 186, UNDER AUDITOR'S FILE NUMBER 20070190036, RECORDS OF KITTITAS COUNTY, STATE OF WASHINGTON.

EXCEPT THAT PORTION OF THE ABOVE SAID LOT WHICH IS BOUNDED BY A LINE DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID LOT S-2; THENCE NORTH 89°51'57" WEST, ALONG THE NORTH BOUNDARY OF SAID LOT S-2, 40.00 FEET TO THE TRUE POINT OF BEGINNING OF SAID LINE; THENCE CONTINUING NORTH 89°51'57" WEST, ALONG SAID NORTH BOUNDARY OF SAID LOT S-2, 234.15 FEET, TO A POINT COMMON TO LOTS S-2, S-4 AND LOT 12 OF SAID SURVEY; THENCE SOUTH 00°01'25" EAST, ALONG A LINE COMMON TO LOTS S-2 AND LOT 12 OF SAID SURVEY, 230.00 FEET; THENCE SOUTH 89°51'57" EAST 254.28 FEET, MORE OR LESS, TO THE WESTERN BOUNDARY OF EASEMENT "A" AS DELINEATED ON SAID SURVEY; THENCE NORTH 00°03'00" WEST, ALONG SAID WESTERN EASEMENT BOUNDARY, 230.00 FEET, MORE OR LESS, TO THE TRUE POINT OF BEGINNING AND THE TERMINUS OF SAID LINE.

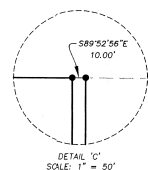
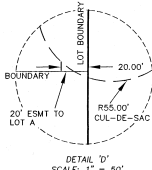
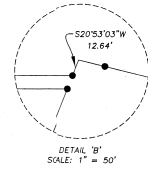
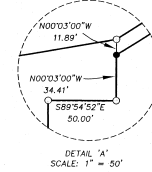
SITUATED IN THE NORTHWEST QUARTER OF SECTION 21, TOWNSHIP 15 NORTH, RANGE 19 EAST, W.M., KITTITAS COUNTY, WASHINGTON.

LEGAL DESCRIPTION

SIEBER

TAX PARCEL NUMBER 15-19-22000-0027

THAT PORTION OF LOTS 2 AND 3 OF THAT CERTAIN SURVEY RECORDED IN BOOK 13 OF SURVEYS, PAGE 7, UNDER AUDITOR'S FILE NUMBER 480915, RECORDS OF KITTITAS COUNTY, STATE OF WASHINGTON, LYING WITHIN SECTION 22, TOWNSHIP 15 NORTH, RANGE 19 EAST, W.M.,



LP-08-XX

Table with columns: LINE, BEARING, DISTANCE, CURVE, LENGTH, RADIUS, DELTA. Contains data for lines L7 through L46 and curve C2.

NOTES:

- 1. THE PURPOSE OF THIS SURVEY IS TO IS TO CREATE 7 TAX PARCELS FROM EXISTING TAX PARCELS 245536, 270936, 604133, AND 244133. THE EXISTING PARCELS DESCRIBED HEREON, ARE A COMBINED 37.38 ACRES.
2. THIS SURVEY WAS PERFORMED USING A NIKON DTM-520 TOTAL STATION. THE CONTROLLING MONUMENTS AND PROPERTY CORNERS SHOWN HEREON WERE LOCATED, STAKED AND CHECKED FROM A CLOSED FIELD TRAVEL IN EXCESS OF 11,000 LINEAR FEET AFTER AZIMUTH ADJUSTMENT.
3. THIS SURVEY DOES NOT PURPORT TO SHOW ALL EASEMENTS OF RECORD OR OTHERWISE.
4. FOR SECTION SURVEYS, CORNER DOCUMENTATION AND ADDITIONAL SURVEY INFORMATION, AND BASIS OF BEARING, SEE BOOK 7 OF SURVEYS AT PAGE 65, UNDER AUDITOR'S FILE NO. 444807, RECORDS OF KITTITAS COUNTY, STATE OF WASHINGTON, AND THE SURVEYS REFERENCED THEREON.
5. A PUBLIC UTILITY EASEMENT 10 FEET IN WIDTH IS RESERVED ALONG ALL LOT LINES. THE 10 FOOT EASEMENT SHALL ABUT THE EXTERIOR PLAT BOUNDARY AND SHALL BE DIVIDED 5 FEET ON EACH SIDE OF INTERIOR LOT LINES.
6. PER RCW 17.10.140 LANDOWNERS ARE RESPONSIBLE FOR CONTROLLING AND PREVENTING THE SPREAD OF NOxious WEEDS. ACCORDINGLY, THE KITTITAS COUNTY NOxious WEED BOARD RECOMMENDS IMMEDIATE RESEEDING OF AREAS DISTURBED BY DEVELOPMENT TO PRECLUDE THE PROLIFERATION OF NOxious WEEDS.
7. ANY FURTHER SUBDIVISION OR LOTS TO BE SERVED BY PROPOSED ACCESS MAY RESULT IN FURTHER ACCESS REQUIREMENTS. SEE THE KITTITAS COUNTY ROAD STANDARDS.
8. AN APPROVED ACCESS PERMIT WILL BE REQUIRED FROM THE DEPARTMENT OF PUBLIC WORKS PRIOR TO CREATING ANY NEW DRIVEWAY ACCESS OR PERFORMING WORK WITHIN THE COUNTY ROAD RIGHT-OF-WAY.
9. MAINTENANCE OF THE ACCESS IS THE RESPONSIBILITY OF THOSE WHO BENEFIT FROM ITS USE.
10. ENTIRE PRIVATE ROAD SHALL ACHIEVE 95% COMPACTION AND SHALL BE INSPECTED AND CERTIFIED BY A LICENSED ENGINEER IN THE STATE OF WASHINGTON SPECIFYING THAT THE ROAD MEETS CURRENT KITTITAS COUNTY ROAD STANDARDS PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR THIS SHORT PLAT.
11. KITTITAS COUNTY WILL NOT ACCEPT PRIVATE ROADS FOR MAINTENANCE AS PUBLIC STREETS OR ROADS UNTIL SUCH STREETS OR ROADS ARE BROUGHT INTO CONFORMANCE WITH CURRENT COUNTY ROAD STANDARDS. THIS REQUIREMENT WILL INCLUDE THE HARD SURFACE PAVING OF ANY STREET OR ROAD SURFACED ORIGINALLY WITH GRAVEL.
12. THE APPROVAL OF THIS DIVISION OF LAND INCLUDES NO GUARANTEE THAT THERE IS A LEGAL RIGHT TO WITHDRAW GROUNDWATER WITHIN THE LAND DIVISION; THE APPROVAL OF THIS DIVISION OF LAND PROVIDES NO GUARANTEE THAT USE OF WATER UNDER THE GROUND WATER EXEMPTION (RCW 90.44.050) FOR THIS PLAT OR ANY PORTION THEREOF WILL NOT BE SUBJECT TO CURTAILMENT BY THE DEPARTMENT OF ECOLOGY OR A COURT OF LAW.
13. METERING WILL BE REQUIRED ON ALL RESIDENTIAL WELL CONNECTIONS AND METERING RESULTS SHALL BE RECORDED IN A MANNER CONSISTENT WITH KITTITAS COUNTY AND WASHINGTON STATE DEPARTMENT OF ECOLOGY REQUIREMENTS.

- ADJACENT OWNERS:
15-19-22051-0008 952435
STEPHENS, TODD ETUX
14045 PECOS CRT
CARMEL, IN 46033-8398
15-19-21000-0023 17143
SCANES, MICHAEL R
400 ALERSON BLVD
EVERETT, WA 98001
15-19-15000-0013 21939
LARSON ORGHARDS LLC
701 ROZA VIEW DR
YAKIMA, WA 98942
15-19-22001-0017 294133
USA (BLM)
C/O SCHURGER, BILL
915 WALLA WALLA
WENATCHEE, WA 98901
15-19-22001-0002 17806
HURON PROPERTIES LLC
23616 231ST PL SE
MAPLE VALLEY, WA 98038
15-19-22000-0028 944133
VERHEUL, GEORGE E ETUX
PO BOX 110
SELAH, WA 98934
15-19-22000-0011 094133
BURLILL, DANNY
1200 ROZA VIEW DR
YAKIMA, WA 98901
15-19-22000-0016 094133
CLEMENSON, WINFRED G ETUX
1331 ROZA VIEW DR
YAKIMA, WA 98901
15-19-22000-0018 134133
TAYLOR, ROBERT E III ETUX
4812 NE 13TH ST
VANCOUVER, WA 98686
15-19-22001-0018 134133
GEORGE, WILFORD C ETUX
540 ROZA VIEW DR
YAKIMA, WA 98901

DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT, OTTO SIEBER, AS HIS SEPARATE ESTATE, OWNER IN FEE SIMPLE OF THE HERIN DESCRIBED REAL PROPERTY, DOES HEREBY DECLARE, SUBVODR AND PLAT AS HEREIN DESCRIBED.

IN WITNESS WHEREOF, WE HAVE SET OUR HANDS THIS ____ DAY OF _____ A.D., 200__.

OTTO SIEBER

ACKNOWLEDGEMENT

STATE OF WASHINGTON) s.s.
COUNTY OF _____)

On this day personally appeared before me _____

to me known to be the individuals described in and who executed the within and foregoing instrument, and acknowledged that _____ signed the same as free and voluntary act and deed, for the uses and purposes therein mentioned.

GIVEN under my hand and official seal this _____ day of _____, 200__.

Notary Public in and for the State of Washington, residing at _____ My appointment expires _____

RECORDER'S CERTIFICATE
Filed for record this _____ day of _____, 20____ at _____ M in book _____ of _____ page _____ of the request of DAVID P. NELSON, Surveyor's Name
County Auditor Deputy County Auditor

SURVEYOR'S CERTIFICATE
This map correctly represents a survey made by me or under my direction in conformance with the requirements of the Survey Recording Act of the request of OTTO SIEBER in _____ JULY, 2008.
DAVID P. NELSON DATE Certificate No. 18092

Encompass ENGINEERING & SURVEYING
108 EAST 2ND STREET
CLE ELUM, WA 98922
PHONE: (509) 874-7433
FAX: (509) 874-7419

TAKE FIVE PLAT
PORTION OF THE E 1/2 OF THE E 1/2 OF SECTION 21 AND A PORTION OF THE W 1/2 OF THE W 1/2 OF SECTION 22, TOWNSHIP 15 NORTH, RANGE 19 EAST, W.M.
KITTITAS COUNTY, WASHINGTON
DWN BY SFT DATE 11/2008 JOB NO. 08124
CRCD BY D. NELSON SCALE N/A SHEET 2 OF 2

